

# Holland Home Inspections LLC.

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## Home Inspection Report

Prepared For:

**Demo Don**

Property Address:

**123 Example st**

**Any where, Ky**

Inspected on Thu, Aug 1 2024 at 8:00 AM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior. Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin. Comments with the blue icon are primarily informational and comments with the orange icon are also displayed on the summary. Please read them all.

#### DEFINITION OF CONDITION TERMS

**Satisfactory:** At the time of inspection the component is functional without observed signs of a substantial defect.

**Marginal:** At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement anticipated.

**Repair or Replace:** At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

**Further Evaluation:** The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

# Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

## Exterior Covering

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1) During inspection of the exterior a loose piece of vinyl siding was observed on the front gable above a window. Recommend a qualified individual to repair.



Figure 1-1

## Windows

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2) An exterior window located on the front of the house has a broken glass in the upper portion. This is a double glass pane window with the exterior glass pane broken. Recommend repair by a qualified individual.

(Report Summary continued)



Figure 2-1



Figure 2-2

### Roof Covering

3) During inspection the shingled roof covering at the front of the house damaged or loose shingles was observed. This is on a portion of the roof that extends out from the gable end. Recommend further evaluation by qualified individual for repair.



Figure 3-1

(Report Summary continued)

### Vent Stacks

4) During inspection of the plumbing vent that penetrates the roof has the test cap is still installed. Test caps are installed during the plumbing installation and pressure testing. Recommend removal of the test cap before occupancy by a qualified individual.



Figure 4-1



Figure 4-2

### Soffit and Fascia

5) During inspection of the vinyl soffit for the front porch it appears the soffit is loose and sagging. Recommend a qualified individual to repair as needed.



Figure 5-1

(Report Summary continued)

### Floor Structure

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6) During inspection of the floor joists from the crawl space an over notched floor joist was observed in two locations . The floor joist appears to be over notched to accommodate plumbing for the master and hall bathroom. Over notched floor joist are not as structurally sound as floor joist that are not notched. Recommend further evaluation by qualified individual for solutions for repair.



Figure 6-1



Figure 6-2

7) During inspection of the wood floor structure from the crawl space moisture staining was observed on the rim board at the rear of the house. This is in proximity to the pool pump/filter system. This condition can occur when moisture in the area wicks through the brick to the wood framing. Recommend further evaluation by qualified individual for sources of moisture and solutions of repair.

(Report Summary continued)



Figure 7-1



Figure 7-2

### Moisture Condition

8) During inspection of the crawlspace standing water as well as moisture staining was observed. This condition can be the result of clogged underground gutter downspouts, poor grading or a high water table for the area. Moisture in the crawlspace can result in a biological growth and deterioration of the wood floor structure as well as deterioration of the foundation materials. Recommend further evaluation by qualified individual for solutions of repair.



Figure 8-1



Figure 8-2



(Report Summary continued)



Figure 8-3



Figure 8-4

Structure: Crawlspace

9) During inspection of the crawl space a biological growth was observed on the wood floor structure in various locations . This condition is often a result of moisture in the crawl space as well as poor ventilation. The leaking plumbing and ground moisture can allow this condition to occur. It is recommend that a qualified individual evaluation and repair or mitigate as need.



Figure 9-1



Figure 9-2

(Report Summary continued)



Figure 9-3



Figure 9-4



Figure 9-5

(Report Summary continued)

## Plumbing

---

10) During inspection of the hall bath room plumbing from the crawl space a leak was visible. This condition appears to be where the vanity sink drain is as well as the toilet drain at a fitting. Recommend a qualified individual to evaluate and repair as needed.



Figure 11-1



Figure 11-2

## Shower Walls

---

11) During inspection of the hall bathroom signs of a repaired crack in the fiberglass tub surround was observed. It appears the repair was made with a flexible sealant. This type of repair is temporary. Recommend a qualified individual to evaluate for a permanent repair.

(Report Summary continued)



Figure 12-1



Figure 12-2

### Interior Door Materials

12) The wood interior door for the master bathroom does not close properly. Recommend further evaluation by a qualified individual for adjustment or solutions of repair.



Figure 13-1

(Report Summary continued)

### Interior

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13) The bonus room stairs has a loose handrail. Recommend repair by a qualified individual.



Figure 14-1

### Type of Barrier

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14) During inspection the fencing around the pool area is damaged in proximity to the pool house. Recommend repair by a qualified individual.



Figure 15-1

## General

Property Type:	Single Family
Stories:	One level with bonus over garage
Approximate Age:	2014
Age Based On:	Electrical Inspection
Bedrooms/Baths:	3 Bedroom 3 Bath
Door Faces:	South
Furnished:	Yes
Occupied:	Yes
Weather:	Sunny
Temperature:	Warm
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Water Service
People Present:	Not Present

## Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading:	Mostly Level, Sloped Away From Structure Condition: Marginal
Vegetation:	Generally Maintained Condition: Satisfactory
Retaining Walls:	Not Present
Driveway:	Asphalt Condition: Satisfactory
Walkways:	Concrete Condition: Satisfactory
Steps/Stoops:	Brick Condition: Satisfactory
Patios/Decks:	Concrete Condition: Satisfactory

# Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering: Brick, Vinyl Siding  
Condition: Repair or Replace



## Comment 1:

During inspection of the exterior a loose piece of vinyl siding was observed on the front gable above a window. Recommend a qualified individual to repair.



Figure 1-1

Exterior Trim Material: Vinyl, Aluminum  
Condition: Satisfactory

Windows: Vinyl  
Condition: Repair or Replace

(Exterior continued)



**Comment 2:**

An exterior window located on the front of the house has a broken glass in the upper portion. This is a double glass pane window with the exterior glass pane broken. Recommend repair by a qualified individual.



Figure 2-1



Figure 2-2

Entry Doors:	Steel Condition: Satisfactory
Balconies:	Not Present
Railings:	Metal Condition: Satisfactory

## Garage

Garage Type:	Attached Condition: Satisfactory
Garage Size:	2 Car
Door Opener:	Chain Drive Condition: Satisfactory
Opener Safety Feature:	Light Beam, Force Sensitive Condition: Satisfactory



# Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method: From Ground with Binoculars  
Roof Design: Gable, Hip  
Roof Covering: Three dimensional asphalt shingles  
Condition: Satisfactory



**Comment 3:**  
During inspection the shingled roof covering at the front of the house damaged or loose shingles was observed. This is on a portion of the roof that extends out from the gable end. Recommend further evaluation by qualified individual for repair.



Figure 3-1

Ventilation Present: Roof, Soffit  
Condition: Satisfactory  
Vent Stacks: Plastic  
Condition: Repair or Replace

(Roofing continued)



**Comment 4:**

During inspection of the plumbing vent that penetrates the roof has the test cap is still installed. Test caps are installed during the plumbing installation and pressure testing. Recommend removal of the test cap before occupancy by a qualified individual.

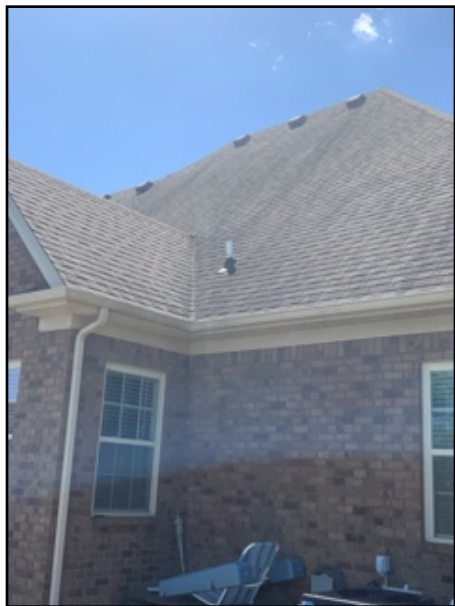


Figure 4-1

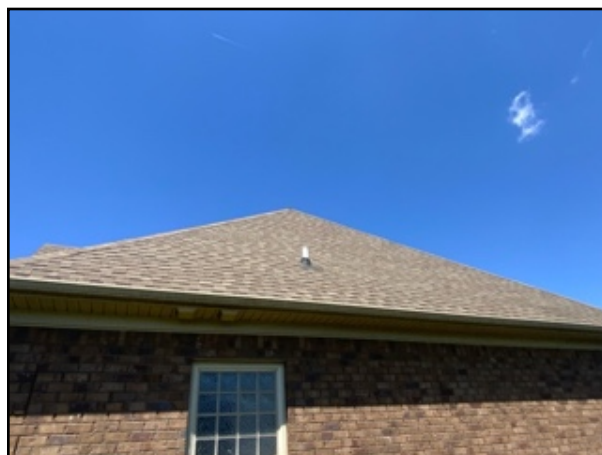


Figure 4-2

Chimney :	Not Present
Sky Lights:	Not Present
Flashings:	Metal
	Condition: Satisfactory
Soffit and Fascia:	Vinyl
	Condition: Repair or Replace

(Roofing continued)



Comment 5:

During inspection of the vinyl soffit for the front porch it appears the soffit is loose and sagging. Recommend a qualified individual to repair as needed.



Figure 5-1

Gutters & Downspouts:

Metal

Condition: Satisfactory

## Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:

Crawl Space

Foundation Material:

Concrete Block

Condition: Satisfactory

Signs of Water Penetration:

Moisture, Stains, Efflorescence

Condition: Further Evaluation Required

Prior Waterproofing:

Gutter type drain

Condition: Satisfactory

Floor Structure:

Wood Frame

Condition: Repair or Replace

(Structure continued)



**Comment 6:**

During inspection of the floor joists from the crawl space an over notched floor joist was observed in two locations . The floor joist appears to be over notched to accommodate plumbing for the master and hall bathroom. Over notched floor joist are not as structurally sound as floor joist that are not notched. Recommend further evaluation by qualified individual for solutions for repair.



Figure 6-1



Figure 6-2



**Comment 7:**

During inspection of the wood floor structure from the crawl space moisture staining was observed on the rim board at the rear of the house. This is in proximity to the pool pump/filter system. This condition can occur when moisture in the area wicks through the brick to the wood framing. Recommend further evaluation by qualified individual for sources of moisture and solutions of repair.

(Structure continued)



Figure 7-1

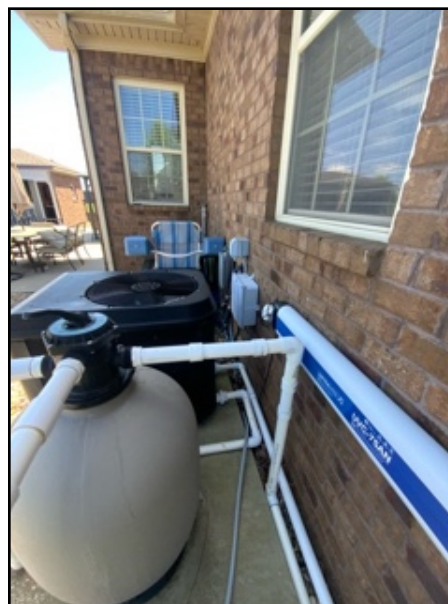


Figure 7-2

Subflooring:	Plywood Condition: Satisfactory
Wall Structure:	Wood Frame Condition: Satisfactory

## Attic

Attic Entry:	Bonus room
Roof Framing Type:	Joist and Rafters Condition: Satisfactory
Roof Deck Material:	Plywood Condition: Satisfactory
Vent Risers:	PVC Condition: Satisfactory
Insulation:	Blown In Fiberglass, Fiberglass Batts Condition: Satisfactory

(Structure continued)

## Crawlspace

If the clearance from the ground to the bottom of the joists is less than 36", or other adverse conditions exist, the inspector is not obligated to enter the crawl space.

Inspection Method:	Inside
Vapor Retarder:	Installed
	Condition: Satisfactory
Underfloor Insulation:	Not Present
Ventilation Present:	Yes
	Condition: Satisfactory
Moisture Condition:	Wet
	Condition: Repair or Replace



### Comment 8:

During inspection of the crawl space standing water as well as moisture staining was observed. This condition can be the result of clogged underground gutter downspouts, poor grading or a high water table for the area. Moisture in the crawl space can result in a biological growth and deterioration of the wood floor structure as well as deterioration of the foundation materials. Recommend further evaluation by qualified individual for solutions of repair.



Figure 8-1



Figure 8-2

(Crawlspace continued)



Figure 8-3



Figure 8-4



**Comment 9:**

During inspection of the crawl space a biological growth was observed on the wood floor structure in various locations . This condition is often a result of moisture in the crawl space as well as poor ventilation. The leaking plumbing and ground moisture can allow this condition to occur. It is recommend that a qualified individual evaluation and repair or mitigate as need.

(Crawlspace continued)



Figure 9-1



Figure 9-2



Figure 9-3



Figure 9-4



(Crawlspace continued)



Figure 9-5

## Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Main Disconnect Location:	Service Panel
Service Panel Location:	Garage
Service Panel Manufacturer:	Square D
	Condition: Satisfactory
Service Line Material:	Aluminum
	Condition: Satisfactory
Service Voltage:	240 volts
Service Amperage:	200 amps
Service Panel Ground:	Ground Rod
Branch Circuit Wiring:	Non-Metallic Shielded Copper
	Condition: Satisfactory
Overcurrent Protection:	Breakers
	Condition: Satisfactory

(Electrical continued)

GFCI/AFCI Breakers: Yes  
Condition: Satisfactory

Smoke Detectors: Hard Wired Interconnected  
Condition: Satisfactory

## Sub Panel

Location: Exterior At Pool

Service Line Material: Aluminum

Overcurrent Protection: Breakers

Branch Circuit Wiring: Non-Metallic Shielded Copper  
Condition: Satisfactory

GFCI/AFCI Breakers: Yes  
Condition: Satisfactory

## HVAC

HVAC System Type: Central Split System

Thermostat: Digital  
Condition: Satisfactory

Thermostat Location: Hallway

## Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location: Attic

Type of Equipment: Heat Pump  
Condition: Satisfactory

Manufacturer: Carrier

Heating Fuel: Electric  
Condition: Satisfactory

Approximate Age: 2014

(Heating continued)

Filter Type:	Disposable, Filter size 24x30x1 Condition: Satisfactory
Output Temperature:	115 Degrees F
Type of Distribution:	Metal Ducting, Flexible Ducting Condition: Satisfactory

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

## Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System Condition: Satisfactory
Condenser Make:	Carrier
Condensor Size:	42,000 BTU (3.5 Tons)
Condenser Approximate Age:	2014
Expansion Coil Make:	Carrier
Expansion Coil Size:	48,000 BTU (4 Tons)
Expansion Coil Approximate Age:	2014
Condensate Drainage:	To Exterior Condition: Satisfactory
AC Supply Air Temp:	38 Degrees F
AC Return Air Temp:	67 Degres F

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

# Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains. Private water and waste systems are beyond the scope of a home inspection.

Water Service: Public  
Supply Pipe Material: CPVC  
Condition: Satisfactory  
Location of Main Water Shutoff: Interior



Comment 10:  
Main water shut off is located in the master bedroom closet.



Figure 10-1

Sewer System: Septic System  
Waste Pipe Material: PVC  
Condition: Further Evaluation Required  
Sump Pump: Not Present  
Location of Fuel Shutoff: Not Present

(Plumbing continued)

**Comment 11:**

During inspection of the hall bath room plumbing from the crawl space a leak was visible. This condition appears to be where the vanity sink drain is as well as the toilet drain at a fitting. Recommend a qualified individual to evaluate and repair as needed.



Figure 11-1



Figure 11-2

## Water Heater

Manufacturer:	A.O. Smith
Fuel:	Electric
Capacity:	50 gal
Approximate Age:	2014
Temp & Pressure Relief Valve:	Present With Blow Off Leg
	Condition: Satisfactory
Fuel Disconnect:	Within Sight of Equipment
Seismic Straps Installed:	Not Present

# Bathrooms

## Bathroom #1

Location:	Hall
Bath Tub:	Recessed
	Condition: Satisfactory
Shower:	In Tub
	Condition: Satisfactory
Sink(s):	Single Vanity
	Condition: Satisfactory
Toilet:	Standard Tank
	Condition: Satisfactory
Bidet:	Not Present
Shower Walls:	Fiberglass
	Condition: Repair or Replace



### Comment 12:

During inspection of the hall bathroom signs of a repaired crack in the fiberglass tub surround was observed. It appears the repair was made with a flexible sealant. This type of repair is temporary. Recommend a qualified individual to evaluate for a permanent repair.



Figure 12-1



Figure 12-2

## (Bathroom #1 continued)

Tub Surround:	Fiberglass Condition: Further Evaluation Required
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory

## Bathroom #2

Location:	Hall 1/2 Bath
Bath Tub:	Not Present
Shower:	Not Present
Sink(s):	Single Vanity Condition: Satisfactory
Toilet:	Standard Tank Condition: Satisfactory
Bidet:	Not Present
Shower Walls:	Not Present
Tub Surround:	Not Present
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Ventilator Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory

## Bathroom #3

Location:	Master Bedroom
Bath Tub:	Recirculating Condition: Satisfactory
Shower:	Stall Condition: Satisfactory
Sink(s):	Double Vanity Condition: Satisfactory

(Bathroom #3 continued)

Toilet:	Standard Tank Condition: Satisfactory
Bidet:	Not Present
Shower Walls:	Tile Condition: Satisfactory
Tub Surround:	Tile Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation Type:	Window Condition: Satisfactory
GFCI Protection:	Outlets Condition: Satisfactory

## Kitchen

Cabinets:	Wood Condition: Satisfactory
Countertops:	Granite Condition: Satisfactory
Sink:	Double Condition: Satisfactory

## Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:	Frigidaire Condition: Satisfactory
Range Hood:	Integrated into microwave Condition: Satisfactory
Refrigerator:	Whirlpool Condition: Satisfactory



(Appliances continued)

Dishwasher:	Frigidaire Condition: Satisfactory
Microwave:	Whirlpool Condition: Satisfactory
Disposal:	Not Present

## Laundry

Built In Cabinets:	Not Present
Laundry Sink:	Not Present
Dryer Venting:	To Exterior Condition: Satisfactory
GFCI Protection:	Yes Condition: Satisfactory
Laundry Hook Ups:	Yes Condition: Satisfactory

## Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Floors:	Tile, Carpet, Wood, LVP Condition: Satisfactory
Walls:	Painted Drywall Condition: Satisfactory
Window Types:	Single Hung Condition: Satisfactory
Window Materials:	Vinyl
Entry Door Types:	Hinged Condition: Satisfactory
Entry Door Materials:	Steel
Interior Door Materials:	Wood

(Interior continued)



Comment 13:

The wood interior door for the master bathroom does not close properly. Recommend further evaluation by a qualified individual for adjustment or solutions of repair.



Figure 13-1

Fireplace:

Electrical

Condition: Satisfactory



Comment 14:

The bonus room stairs has a loose handrail. Recommend repair by a qualified individual.

(Interior continued)



Figure 14-1

## Pool/Spa

The inspection of the pool/spa and related components is limited to the visual observation of the listed components if operating. The determination of if the pool is leaking or will leak is beyond the scope of this inspection.

Deck Material:	Concrete Condition: Satisfactory
Interior Finish:	Fiberglass
Installed Equipment:	Filter, Skimmer, Pump Motor was turned on and appears to function no warrantee is implied regarding condition of motor
Type of Barrier:	Fence Condition: Repair or Replace

(Pool/Spa continued)



**Comment 15:**

During inspection the fencing around the pool area is damaged in proximity to the pool house. Recommend repair by a qualified individual.



Figure 15-1